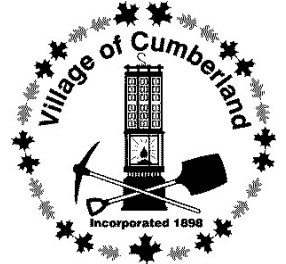


**The Corporation of the Village of Cumberland
Board of Variance Agenda**

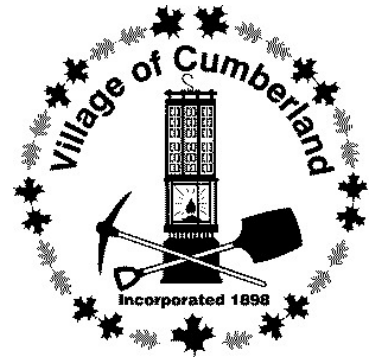
**January 25, 2023, at 12:00 p.m.
Council Chamber, 2675 Dunsmuir Avenue**



We are honoured to gather on the unceded traditional territory of the K'ómoks First Nation.

- 1. Approval of the Agenda**
- 2. Minutes**
None
- 3. Unfinished Business**
None
- 4. New Business**
 - 4.1 Selection of the Chair for the Committee
 - 4.2 2022-01 BOV 3025 Royston Road Development Variance Permit
Maximum building height from 4.5 m to 5.5 m
- 5. Adjournment**

BOARD OF VARIANCE REPORT



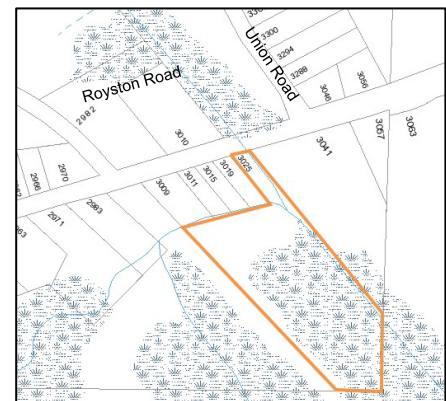
Appeal No. 2022-01-BOV

REPORT DATE: 1/16/2023
MEETING DATE: 1/25/2023

TO: Board of Variance Members
FROM: Meleana Searle, Planner
SUBJECT: Board of Variance Appeal – 3025 Royston Road

APPEAL

The Village has received an appeal for a minor variance at 3025 Royston Road. The applicant is requesting to increase the maximum height for 24 principal dwelling units in Phase One of a manufactured home park from 4.5metres to 5.5metres to accommodate prefabricated modular homes.



and set back 15.0metres from the natural boundary of creeks and streams. The natural boundary is defined as the visible high watermark of the waterbody. The proposed development complies with the required setbacks and elevation for flood construction levels.

PUBLIC NOTIFICATION AND REFERRALS

Pursuant to Section 541 of the Local Government Act:

1. Village staff prepared notification that a Notice of Appeal will be considered by the Board of variance by mailing to the owners and occupiers of all properties within a 75.0metre radius of the lot lines of the land involved under application at least 10 days before consideration by the Board.

At the time of this report, staff have not received feedback from the public.

BOARD OF VARIANCE OPTIONS

1. THAT the Board of Variance approve the request to increase the maximum height for principal buildings for the 24 modular homes in Phase 1 from 4.5metres to 5.5metres, on the property described as Lot 1, District Lot 24, Nelson District, Plan 38778 Except Part In Plan 49490 (3025 Royston Rd).
2. THAT the Board of Variance deny the request to increase the maximum height for principal buildings from 4.5metres to 5.5metres, on the property described as Lot 1, District Lot 24, Nelson District, Plan 38778 Except Part In Plan 49490 (3025 Royston Rd).

ATTACHMENTS

1. Public Notification
2. Applicant Rationale Letter
3. Phasing Plan

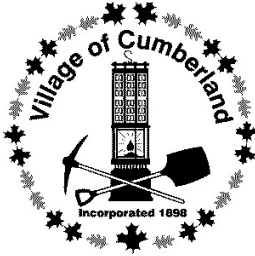
CONCURRENCE

Courtney Simpson, Manager of Development Services **CS**

Respectfully submitted,

M. Searle

Meleana Searle
Planner



Corporation of the Village of Cumberland

2673 Dunsmuir Avenue
PO Box 340
Cumberland, BC V0R 1S0
Telephone: 250-336-2291
Fax: 250-336-2321
cumberland.ca

File: 2022-01-BOV

Jan 13, 2023

Re: Board of Variance Appeal – 3025 Royston Road

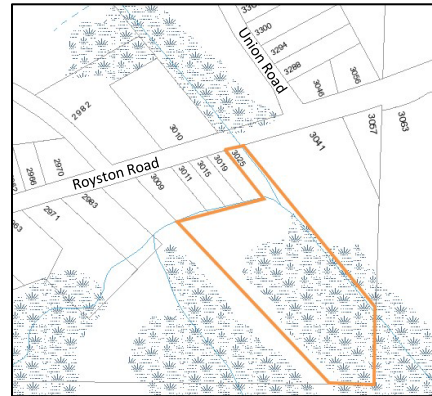
Pursuant to Section 541 of the Local Government Act, we advise you that a meeting of the Board of Variance has been scheduled for **Wednesday, January 25, 2023 at 12:00 p.m.** in the Village of Cumberland Council Chambers, 2675 Dunsmuir Avenue, Cumberland BC, to hear the following appeal:

APPEAL NO: 2022-01-BOV

LOCATION: 3025 Royston Road (Lot 1, District Lot 24, Nelson District, Plan 38778 Except Part In Plan 49490)

PURPOSE: The applicant is requesting the following to accommodate prefabricated modular homes in the approved manufactured home park:

- That the maximum height for principal dwellings be increased from 4.5 metres to 5.5 metres as shown on the attached plan.



Subject Property

The appeal seeks a variance from the following provision of the “Village of Cumberland Zoning Bylaw No. 1027, 2016”:

Section 7.7 (6)

*Principal Buildings and Structures
Maximum height, 4.5metres*

COMMENTS

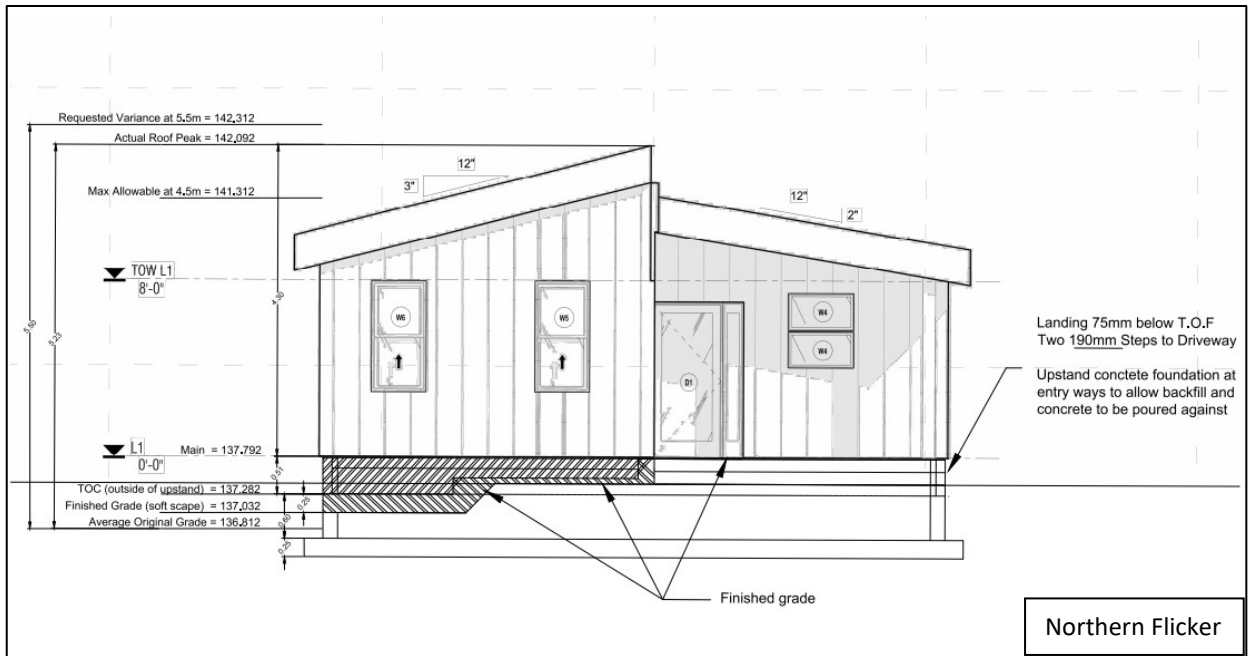
You are receiving this notice as a neighbour within 75 metres of the property. If you deem your property to be affected by this appeal, this meeting of the Board of Variance will be open to hear your representation either in person or by written submission. Written submissions can be emailed to planning@cumberland.ca no later than 8:30am, Wednesday, January 25th, 2023.

This appeal may be inspected at the office of the Village of Cumberland located at 2676 Dunsmuir Avenue, Cumberland BC. Office hours are Monday to Friday 9:00 am to 4:00 pm. If you require further details on this matter, please contact the Development Services Department at 250-336-2291 or by emailing planning@cumberland.ca.

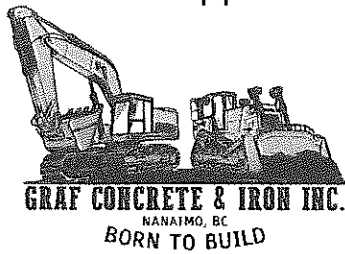
Sincerely,

Meleana Searle
Planner

Elevations of Modular Homes



Attachment 2 - Applicant Rationale



GRAF Concrete & Iron Inc.
2965 Norman Rd
Nanaimo BC
V9X 1K5

December 6th, 2022

Village of Cumberland

Meleana

Planner

O: 250 336 2291

M: 250 336 3010

msearle@cumberland.ca

3025 Royston
Development Variance Permit
Maximum building height from 4.5m to 5.5m

Letter of Rationale
22.12.06 - Rev 00

1.0 Supporting Docs

1. *Elevation views of 3 proposed house models – Great Slaty, Northern Flicker, The Lewis*
2. *Sample site layout – lot 6 – Northern Flicker*
3. *Sample, combined elevation view – completed lot 6 dwelling (Northern Flicker Mirrored)*

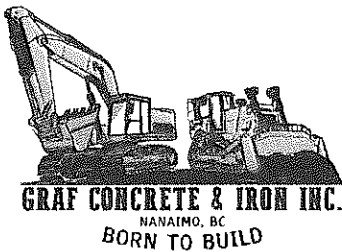
2.0 Technical

Proposed Building Heights:

Each proposed model is shown in the table below.

House-type	Height (mm)	Sub-structure (mm)	Overall Height (mm)
Great Slaty	4080	509	4589
Lewis	4240	509	4749
Northern Flicker	4300	509	4809

As can be observed on the elevation views. The vertical construction of the three proposed dwellings is well within moderate design.



GRAF Concrete & Iron Inc.
2965 Norman Rd
Nanaimo BC
V9X 1K5

Examination of Manufactured Home Design:

For the purposes of this document, we will examine the tallest of the three buildings, the Northern Flicker.

The northern flicker has a interior wall height, which is common to all structures of eight (8) feet. This is the lowest permissible wall height for a conventional living space. In contrast to many other single story homes which are now carrying nine (9) feet.

In the elevation view, it can be seen that there are two separate roof pitches forming a detached gable roof. This design is more vertically economical than a single pitch roof, which would gain double the vertical height per distance of span.

One roof is pitched at 2:12, while the other is 3:12. This is considered in modern building terms as a low-pitched roof. A 4:12 to 5:12 would be most common. Additionally, a single shed roof over a 28' would not be considered unreasonable.

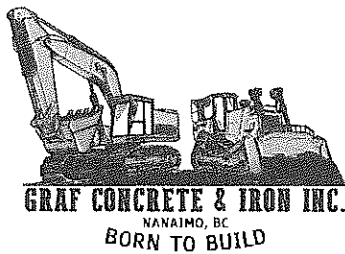
Since manufactured homes are required to be constructed with transport in mind. The homes have a 350mm double plated steel truss, with 140mm cassettes (joists) that sit on top of the foundation. This adds 590mm to the building height. This height is part of the structure and not an architectural convenience and therefore is a requirement, not a luxury.

Examination of additional contributing factors:

The Flicker is currently planned to sit on a concrete foundation. This removes a 600mm cribbing requirement that would normally be required if the home was on piles or cribbing.

To meet BCBC code and good practice requirements, the foundation needs to project 50mm where areas are hard surfaced, and 200mm where they are landscaped. Given not all areas will be hard surfaced, we are required to project the top of foundation wall 200mm above finished grade. Additionally, in order to facilitate due-diligence we proposed to add an additional 50mm taking the total projection to 250mm above finished grade.

The total building height will be calculated from an average grade over the four corners of the dwelling. Since the lots are designed to slope 0.5% away from the road, this sets the dwelling an additional 150mm below curb grade. This elevation would cause the driveways to slope towards the dwelling. This creates problematic conditions and is against best practises. Therefore, we propose to set the top of driveway at the house tie in to 2% up slope. In total this requires an additional 0.3m from the MHP bylaw standard.



GRAF Concrete & Iron Inc.
2965 Norman Rd
Nanaimo BC
V9X 1K5

3.0 Summary

As can be observed in the aforementioned technical points, a maximum roof height of 4.5m from averaged grade does not work for the project requirements. Further, it could be said and examined that other than a flat roofed structure sitting on grade, there would be no way to meet this design threshold.

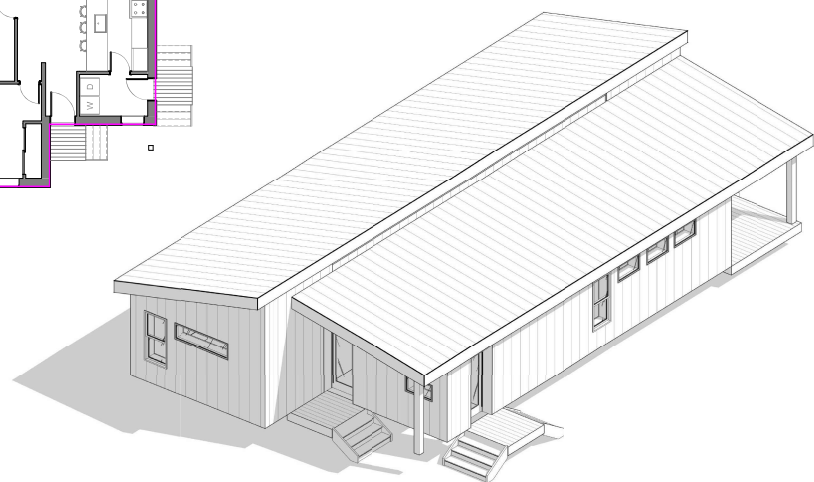
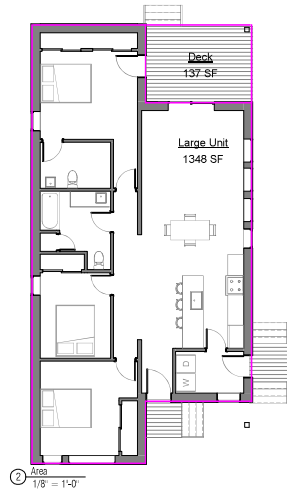
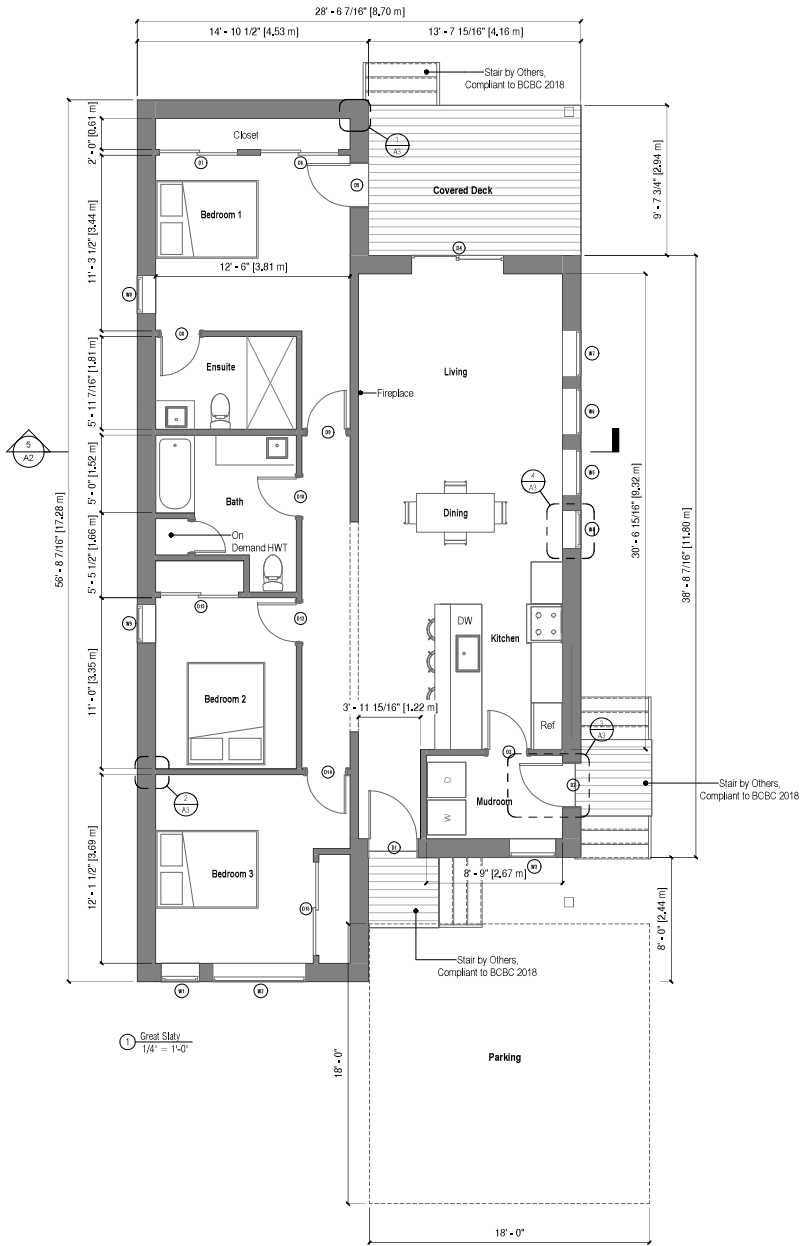
For this reason, we request a blanket variance for 3025 Royston from 4.5m to 5.5m total building height for all of the buildings on the property.

Thank you for the consideration to this matter.

Kind regards,

Trevor Styan

Owner
Graf Concrete & Iron Inc.
Nanaimo BC
250-739-2262
grafconcion@gmail.com



Window Schedule					
ID	Type	Width	Height	Rough Width	Rough Height
1	Double Hung (Egress)	2'-5 1/2"	4'-11 1/2"	2'-9"	5'-3"
2	Fixed Transom	5'-11 1/2"	1'-7 1/2"	6'-3"	1'-11"
3	Fixed (Stack Upper)	2'-11 1/2"	1'-7 1/2"	3'-3"	1'-11"
4	Fixed (Stack Lower)	2'-11 1/2"	1'-7 1/2"	3'-3"	1'-11"
5	Double Hung	2'-5 1/2"	4'-11 1/2"	2'-9"	5'-3"
6	Fixed Transom	2'-11 1/2"	1'-7 1/2"	3'-3"	1'-11"
7	Fixed Transom	2'-11 1/2"	1'-7 1/2"	3'-3"	1'-11"
8	Double Hung (Egress)	2'-5 1/2"	4'-11 1/2"	2'-9"	5'-3"
9	Double Hung (Egress)	2'-5 1/2"	4'-11 1/2"	2'-9"	5'-3"

Door Openings Schedule						
ID	Type	Swing	Width	Height	Rough Width	Rough Height
1	Entry Swing	LHI	3'-1"	6'-9 7/8"	3'-4 1/2"	6'-11 7/8"
2	Ext. Swing	RHI	2'-9"	6'-9 7/8"	3'-0 1/2"	6'-11 7/8"
3	Swing	LH	2'-6"	6'-8"	2'-9 1/2"	6'-10"
4	Ext. Slider	N/A	5'-10 7/8"	6'-9 7/8"	6'-2 3/8"	6'-11 7/8"
5	Ext. Swing	RHI	2'-9"	6'-9 7/8"	3'-0 1/2"	6'-11 7/8"
6	Bypass	N/A	5'-0"	6'-8"	5'-3 1/2"	6'-10"
7	Bypass	N/A	5'-0"	6'-8"	5'-3 1/2"	6'-10"
8	Swing	RH	2'-6"	6'-8"	2'-9 1/2"	6'-10"
9	Swing	RH	2'-6"	6'-8"	2'-9 1/2"	6'-10"
10	Swing	RH	2'-6"	6'-8"	2'-9 1/2"	6'-10"
12	Swing	RH	2'-6"	6'-8"	2'-9 1/2"	6'-10"
13	Bypass	N/A	5'-0"	6'-8"	5'-3 1/2"	6'-10"
14	Swing	LH	2'-6"	6'-8"	2'-9 1/2"	6'-10"
15	Bypass	N/A	6'-0"	6'-8"	6'-3 1/2"	6'-10"
20	Bypass	N/A	2'-0"	6'-8"	2'-3 1/2"	6'-10"



ALL DRAWINGS MUST BE REVIEWED AND APPROVED BY CUSTOMER AND/OR CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION. ERRORS AND OMISSIONS MUST BE REPORTED IN WRITING TO DRAFTHUB AND THE QUALIFIED PROFESSIONAL BEARING THE SEAL PRIOR TO COMMENCEMENT OF CONSTRUCTION.

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REVISION SCHEDULE		
No.	Description	Date
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SEAL:

GREAT SLATY

ORCA-LGS

Project number 2022-221
Date 22.11.07
Drawn by PY
Checked by KF
Scale As indicated

Plans
A1

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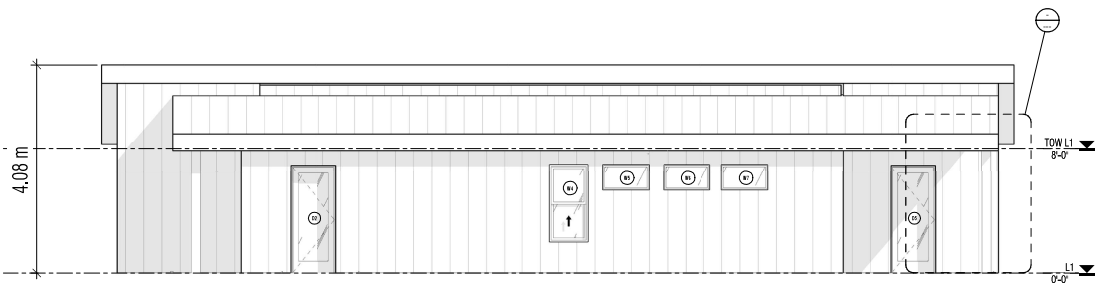
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GREAT SLATY
ORCA-LGS

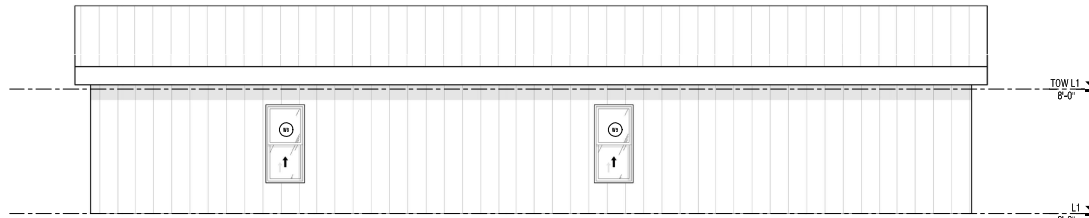
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 Drawn by: PY
 Checked by: KF
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Elev/Sections

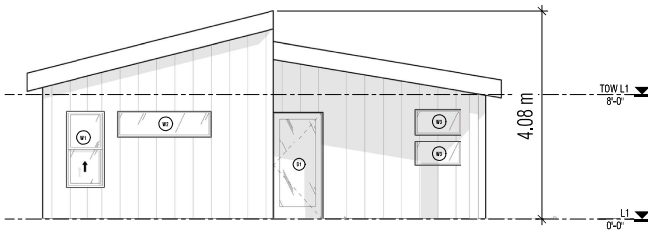
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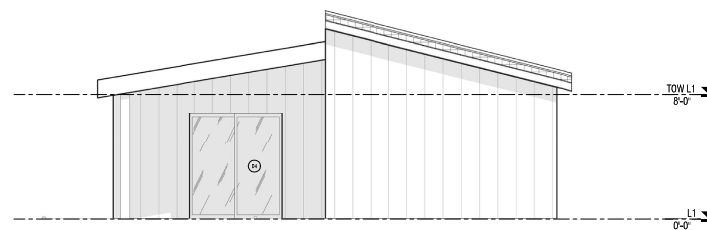
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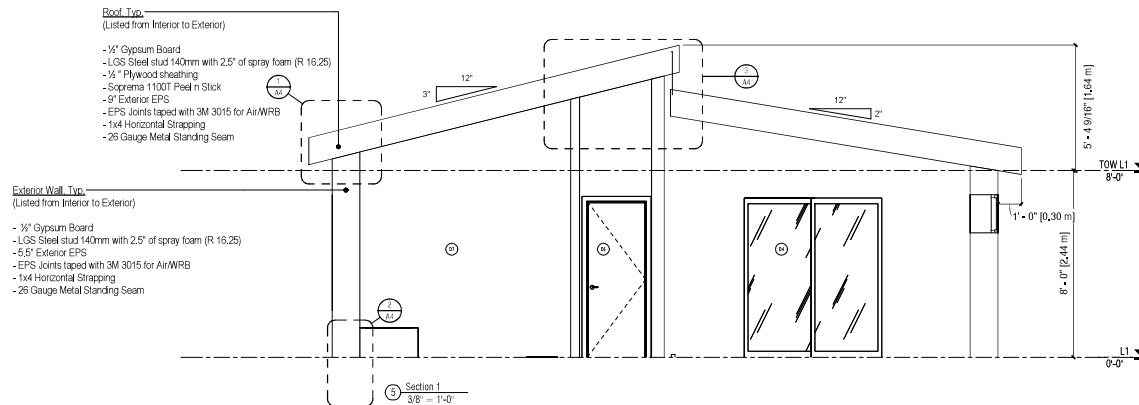
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South Elevation
 1/4" = 1'-0"



North Elevation
 1/4" = 1'-0"



Section 1
 3/8" = 1'-0"

- Roof Typ.**
 (Listed from Interior to Exterior)
- 1/2" Gypsum Board
 - LGS Steel stud 140mm with 2.5" of spray foam (R 16,25)
 - 1/2" Plywood sheathing
 - Soprema 1100T Peel n Stick
 - 9" Exterior EPS
 - EPS Joints taped with 3M 3015 for AirWRB
 - 1x4 Horizontal Strapping
 - 26 Gauge Metal Standing Seam

- Exterior Wall Typ.**
 (Listed from Interior to Exterior)
- 1/2" Gypsum Board
 - LGS Steel stud 140mm with 2.5" of spray foam (R 16,25)
 - 9.5" Exterior EPS
 - EPS Joints taped with 3M 3015 for AirWRB
 - 1x4 Horizontal Strapping
 - 26 Gauge Metal Standing Seam

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ORCA
 INNOVATION - DESIGN - TECHNOLOGY

REVISION SCHEDULE		
No.	Description	Date
1	Revision 4	22.11.07

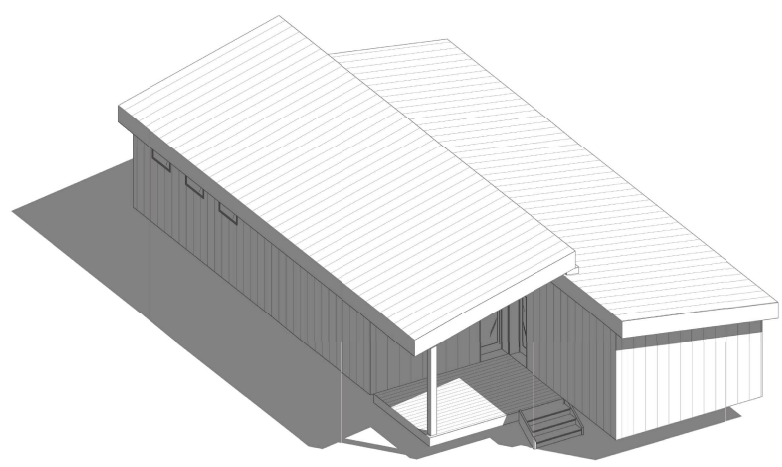
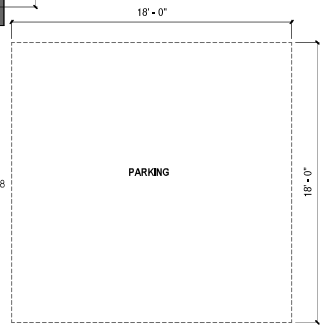
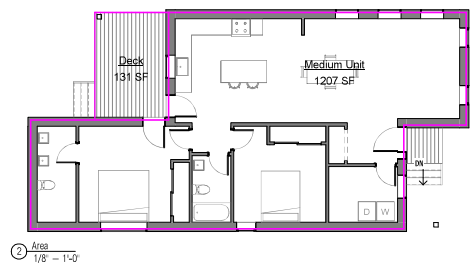
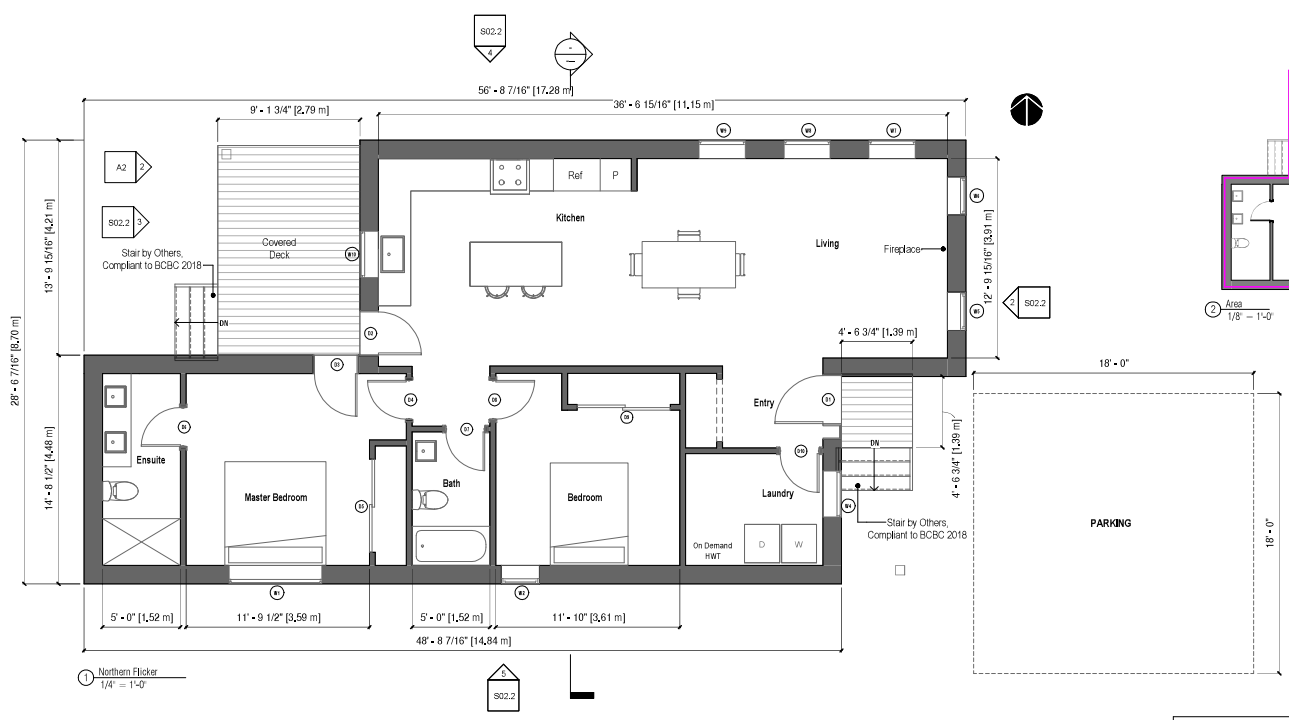
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SEAL:

ORCA-LGS
 Northern Flicker

Project number 2022-021
 Date 22.11.07
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 Checked by KF
 Scale As indicated

Plans
 A1



Window Schedule					
ID	Type	Width	Height	Rough Width	Rough Height
1	Fixed Transom	5'-11 1/2"	1'-7 1/2"	6'-3"	1'-11"
2	Single Hung	2'-5 1/2"	4'-11 1/2"	2'-9"	5'-3"
4	Fixed (Stack Lower)	2'-11 1/2"	1'-7 1/2"	3'-3"	1'-11"
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8	Fixed	2'-11 1/2"	1'-7 1/2"	3'-3"	1'-11"
9	Fixed	2'-11 1/2"	1'-7 1/2"	3'-3"	1'-11"
10	Fixed	2'-11 1/2"	2'-11 1/2"	3'-3"	3'-3"

Door Openings Schedule						
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3	Ext. Swing	LHI	2'-9"	6'-11 1/2"	3'-0 1/2"	7'-1 1/2"
4	Swing	RH	2'-6"	6'-8"	2'-9 1/2"	6'-10"
5	Bypass	N/A	6'-0"	6'-8"	6'-3 1/2"	6'-10"
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SEAL:

ORCA-LGS

Northern Flicker

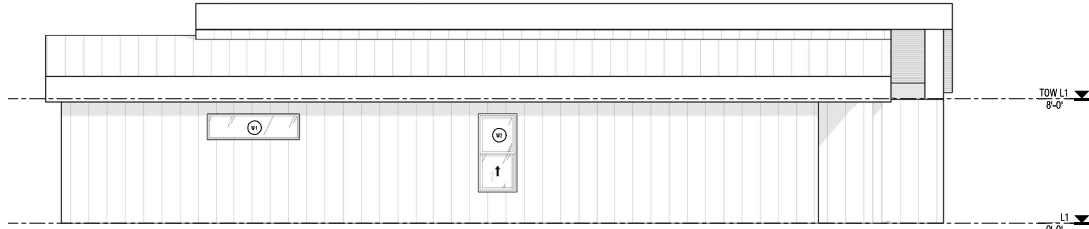
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 Date 22.11.07
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Elev/Sections

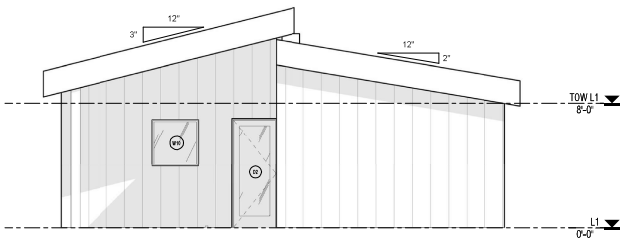
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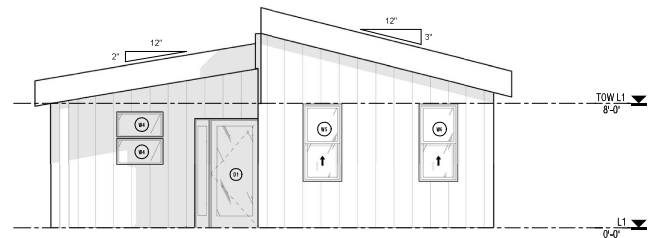
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 1/4" = 1'-0"



3 South Elevation
 1/4" = 1'-0"



2 West Elevation
 1/4" = 1'-0"



4 East Elevation
 1/4" = 1'-0"

* See Great Slaty for Bldg Section
 w/ Typical Construction Assemblies

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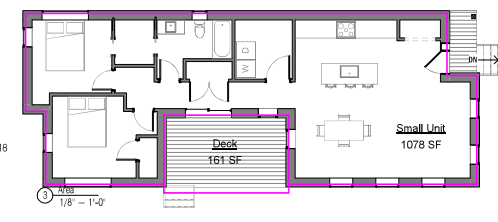
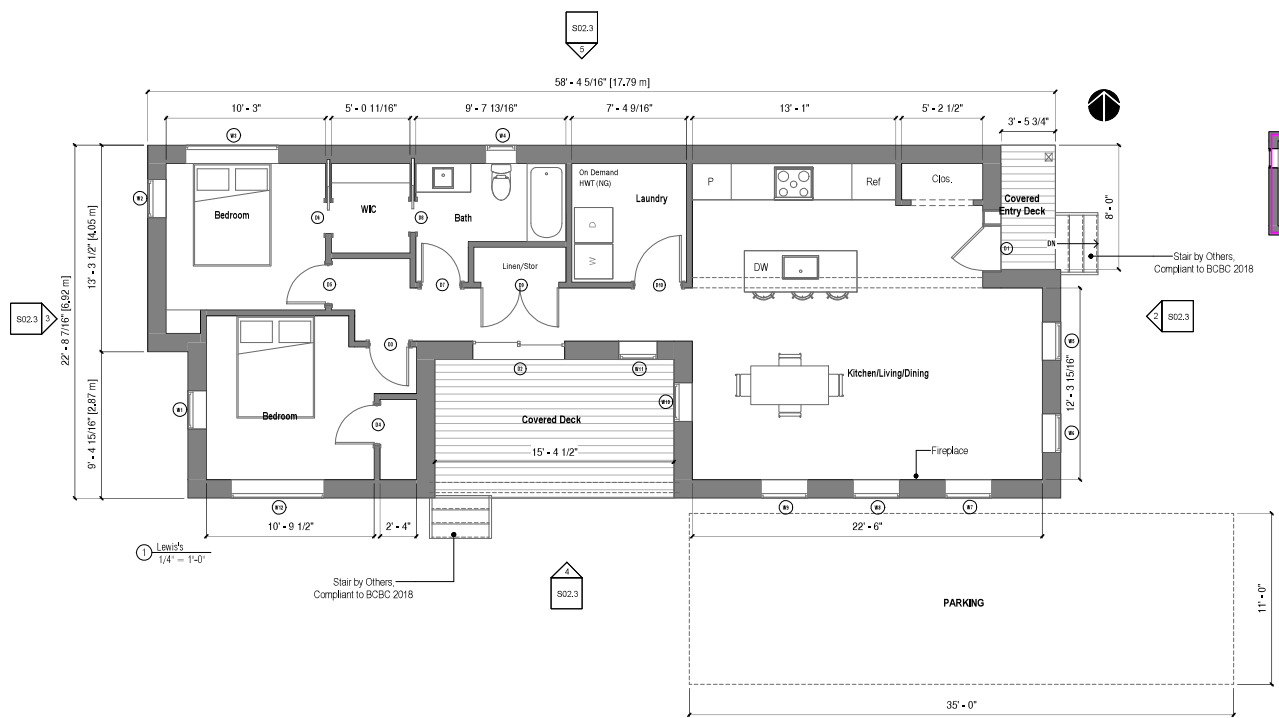
ORCA -LGS

Lewis's

Project number 2022-221
 Date 22.11.07
 Drawn by PY
 Checked by KF
 Scale As indicated

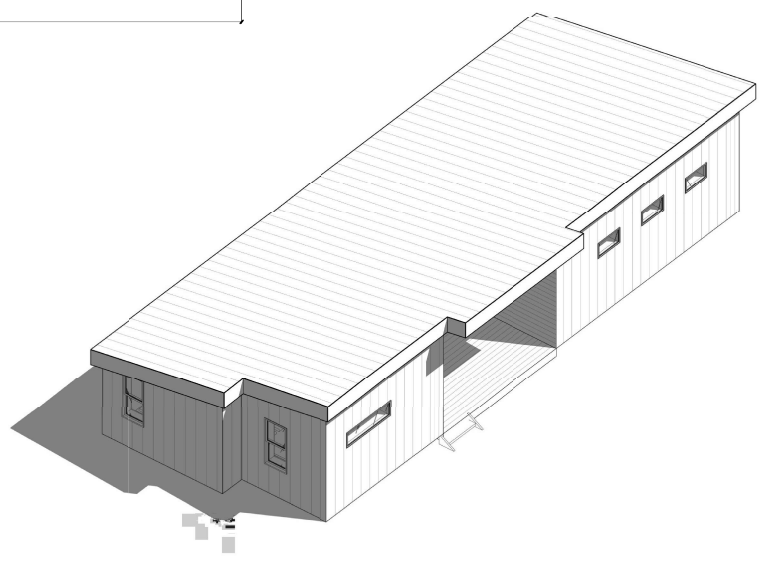
Plans/Section

A1



Window Schedule					
ID	Type	Width	Height	Rough Width	Rough Height
1	Single Hung	2'-5 1/2"	4'-11 1/2"	2'-9"	5'-3"
2	Single Hung	2'-5 1/2"	4'-11 1/2"	2'-9"	5'-3"
3	Fixed Transom	5'-11 1/2"	1'-7 1/2"	6'-3"	1'-11"
4	Single Hung	1'-11 1/2"	2'-11 1/2"	2'-3"	3'-3"
5	Single Hung	2'-5 1/2"	4'-11 1/2"	2'-9"	5'-3"
6	Single Hung	2'-5 1/2"	4'-11 1/2"	2'-9"	5'-3"
7	Fixed Transom	2'-11 1/2"	1'-7 1/2"	3'-3"	1'-11"
8	Fixed Transom	2'-11 1/2"	1'-7 1/2"	3'-3"	1'-11"
9	Fixed Transom	2'-11 1/2"	1'-7 1/2"	3'-3"	1'-11"
10	Single Hung	2'-5 1/2"	4'-11 1/2"	2'-9"	5'-3"
11	Single Hung	2'-5 1/2"	4'-11 1/2"	2'-9"	5'-3"
12	Fixed Transom	5'-11 1/2"	1'-7 1/2"	6'-3"	1'-11"

Door Openings Schedule							
ID	Type	Swing	Width	Height	Rough Width	Rough Height	Rough Height
1	Entry Swing	RH	2'-10"	6'-9 7/8"	3'-1 1/2"	6'-11 7/8"	6'-11 7/8"
1A	Sidelight	N/A	0'-9 1/2"	6'-9 7/8"	1'-1"	6'-11 7/8"	6'-11 7/8"
2	Ext. Slider	N/A	5'-10 7/8"	6'-9 7/8"	6'-2 3/8"	6'-11 7/8"	6'-11 7/8"
3	Swing	LH	2'-6"	6'-8"	2'-9 1/2"	6'-10"	6'-10"
4	Swing	LH	2'-6"	6'-8"	2'-9 1/2"	6'-10"	6'-10"
5	Swing	LH	2'-6"	6'-8"	2'-9 1/2"	6'-10"	6'-10"
6	Pocket	N/A	2'-0"	6'-8"	2'-3 1/2"	6'-10"	6'-10"
7	Swing	LH	2'-6"	6'-8"	2'-9 1/2"	6'-10"	6'-10"
8	Pocket	N/A	2'-0"	6'-8"	2'-3 1/2"	6'-10"	6'-10"
9	Double Hung	N/A	5'-0"	6'-8"	5'-3 1/2"	6'-10"	6'-10"
10	Swing	RH	3'-0"	6'-8"	3'-3 1/2"	6'-10"	6'-10"



ALL DRAWINGS MUST BE REVIEWED AND APPROVED BY CUSTOMER AND/OR CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION. ERRORS AND OMISSIONS MUST BE REPORTED IN WRITING TO DRAFTHUB AND THE QUALIFIED PROFESSIONAL BEARING THE SEAL PRIOR TO COMMENCEMENT OF CONSTRUCTION.

ONLY THOSE DRAWINGS BEARING AN ORIGINAL PROFESSIONAL SEAL SHALL BE DEEMED OFFICIAL COPIES OF WHICH HAVE BEEN ISSUED FOR PERMITS OR AS CONSTRUCTION DOCUMENTATION. ANY DRAWING RECEIVED ELECTRONICALLY IS FOR INFORMATION PURPOSES ONLY.

DRAWINGS PREPARED FOR:



REVISION SCHEDULE		
No.	Description	Date
1	Revision 4	22 11 07

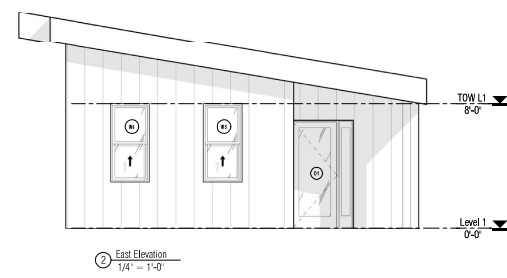
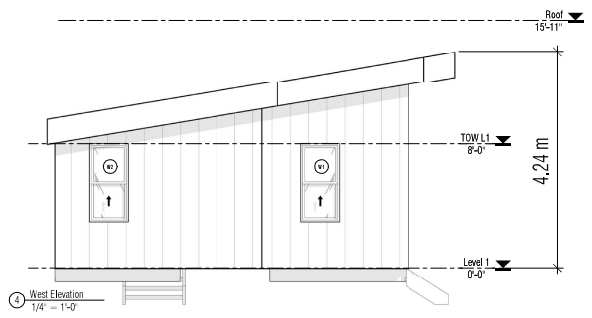
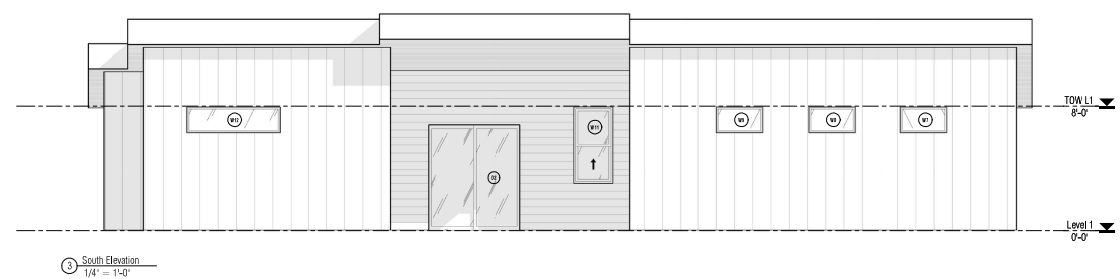
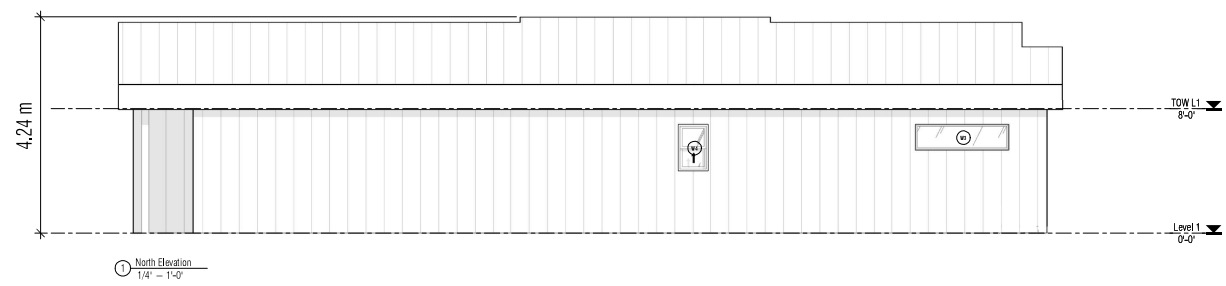
THIS IS A PART 9 BUILDING OF RESIDENTIAL 1st OCCUPANCY
 ALL WORK TO COMPLY WITH BCBC 2018
 DO NOT SCALE DRAWINGS

SEAL:

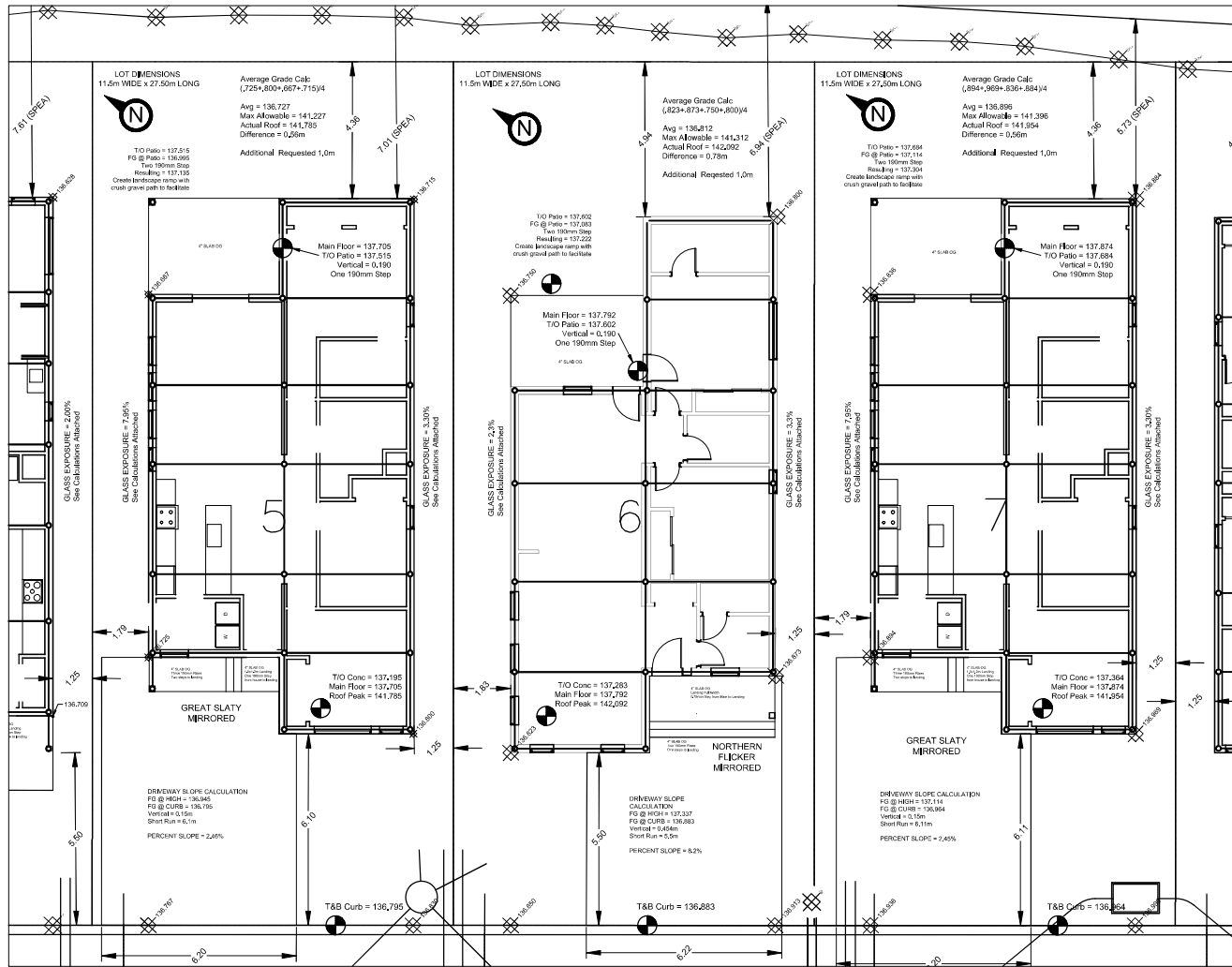
ORCA-LGS
 Lewis's

Project number: 2022-221
 Date: 22 11 07
 Drawn by: PY
 Checked by: KF
 Scale: 1/4" = 1'-0"

Elev/Sections
 A2



* See Great Slaty for Bldg Section w/ Typical Construction Assemblies



Lot 6
 Total Area: 316.2 m2
 Building Area: 124.3 m2
 Coverage = 39.3%

Lot 6
 Back of Curb Elv: 136.883
 U/S Footing Elv: 136.433

Drawn By:

KH

Date:

2022/12/06

Rev:

03

Scale:

1:150

Lot #:

6

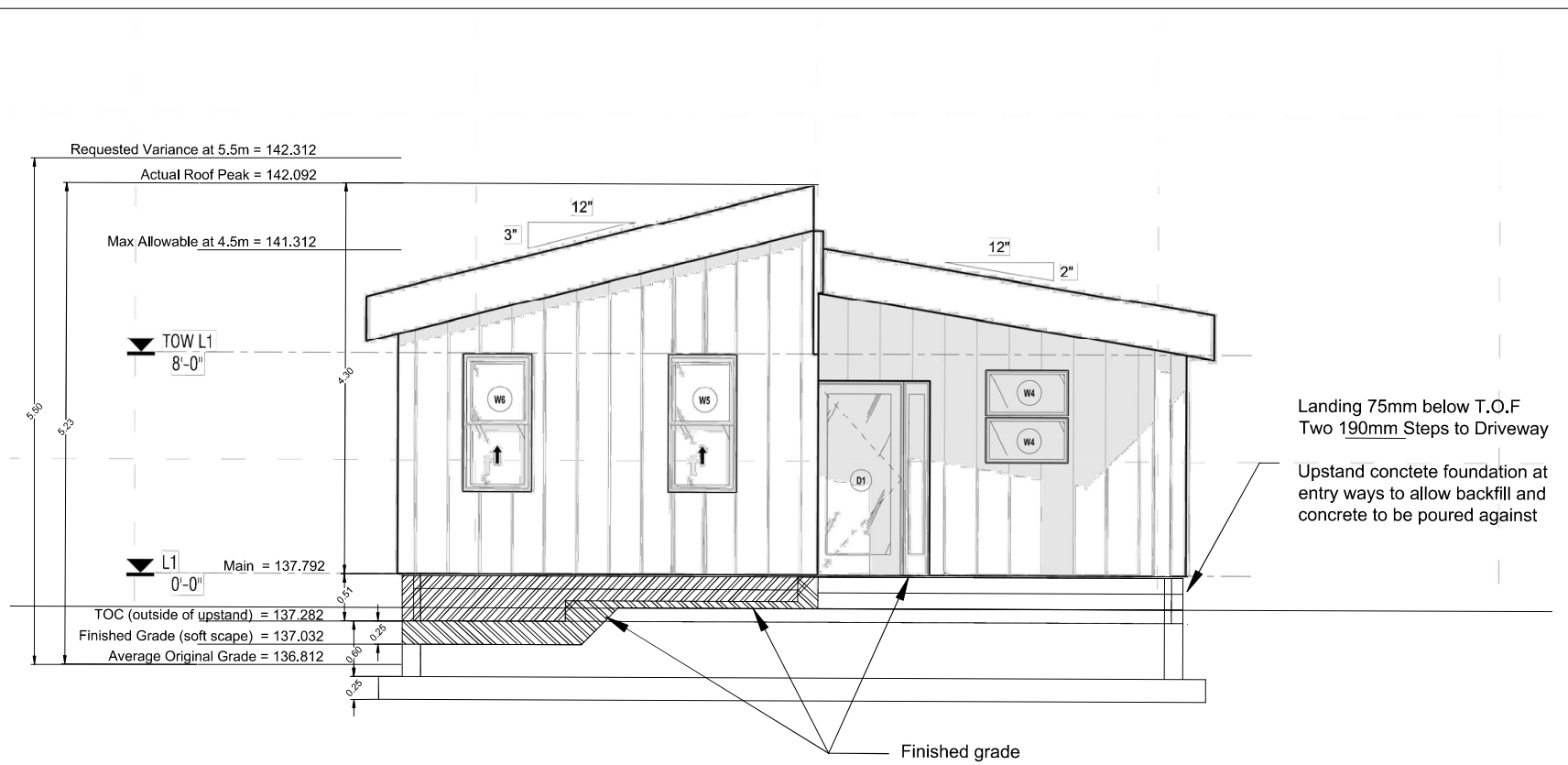
Bldg Type:

N. Flicker
(Mirrored)

1318796 B.C. Ltd

3025 Royston Rd, Cumberland





Drawn By:

TS

Date:

2022/12/06

Rev:

00

Scale:

1:50

Lot #:

6

Bldg Type:

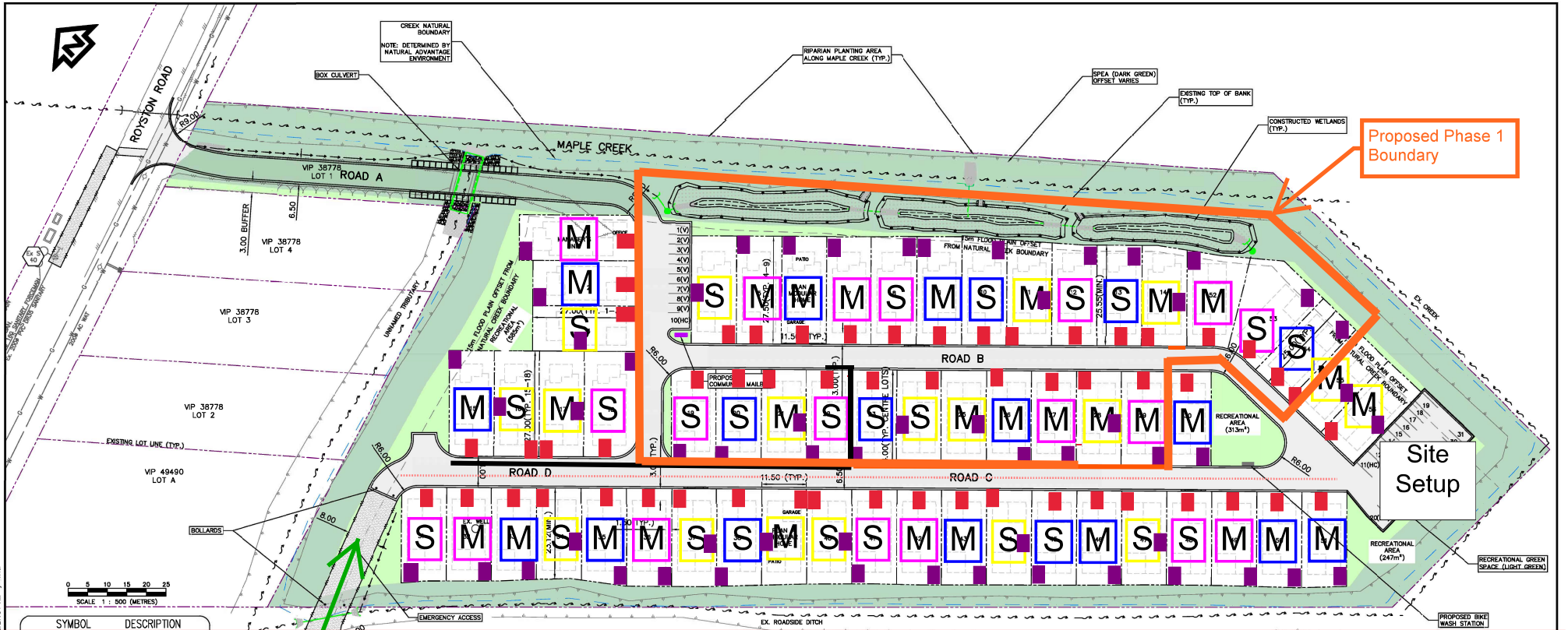
N. Flicker
(Mirrored)



1318796 B.C. Ltd

3025 Royston Rd, Cumberland

Proposed Revised Phase 1/2 Division Boundary 23.01.04



3025 Royston Road
Site Sequence & Phasing

Issued to show Phase 1/2 Division Boundary